

CITY OF SOMERVILLE  
STATION 7  
ROOF REPLACEMENT

265 Highland Ave.      Somerville, MA 02143

September 11, 2014

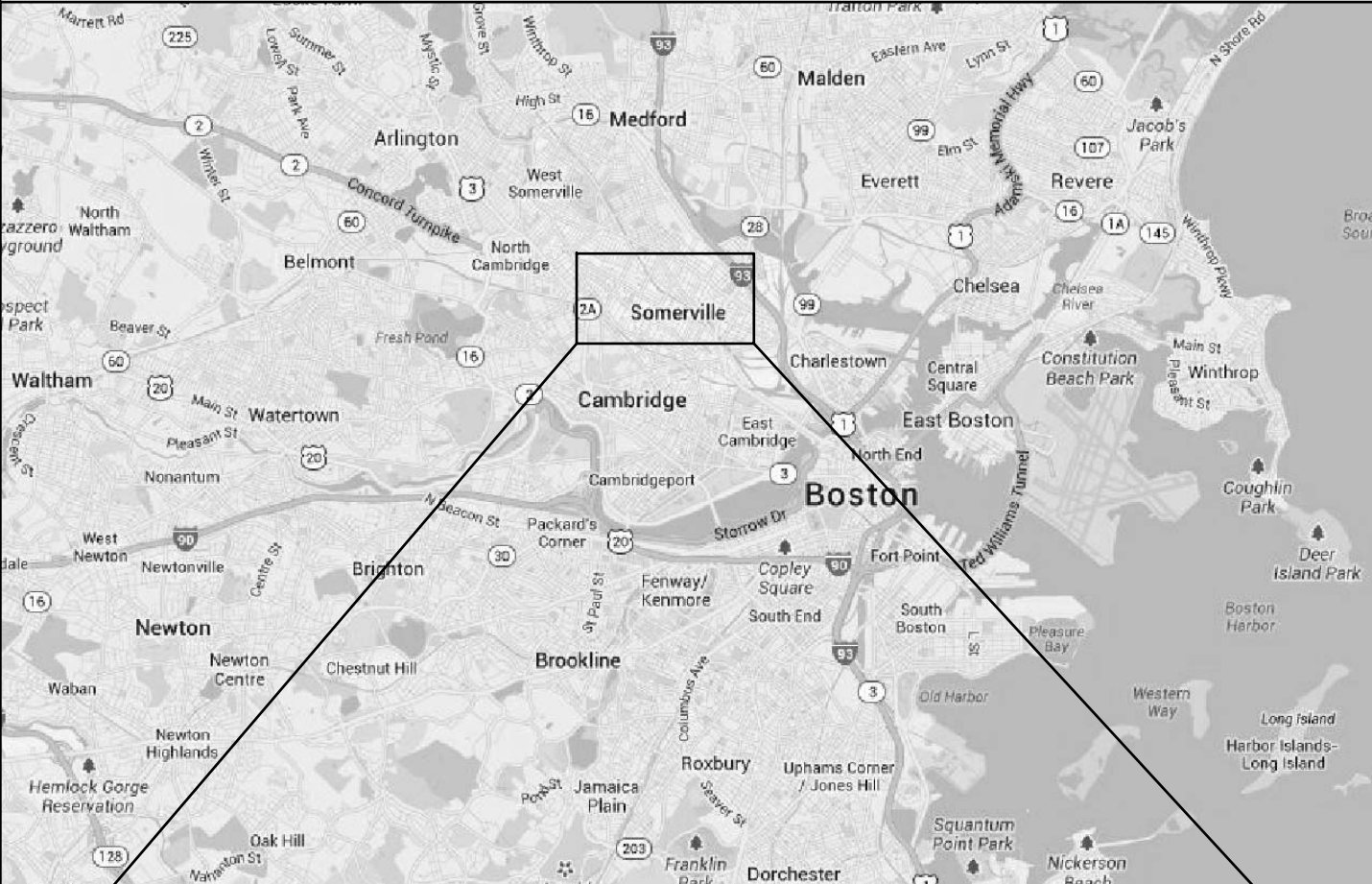
LIST OF DRAWINGS

GENERAL

COVER SHEET

ARCHITECTURAL

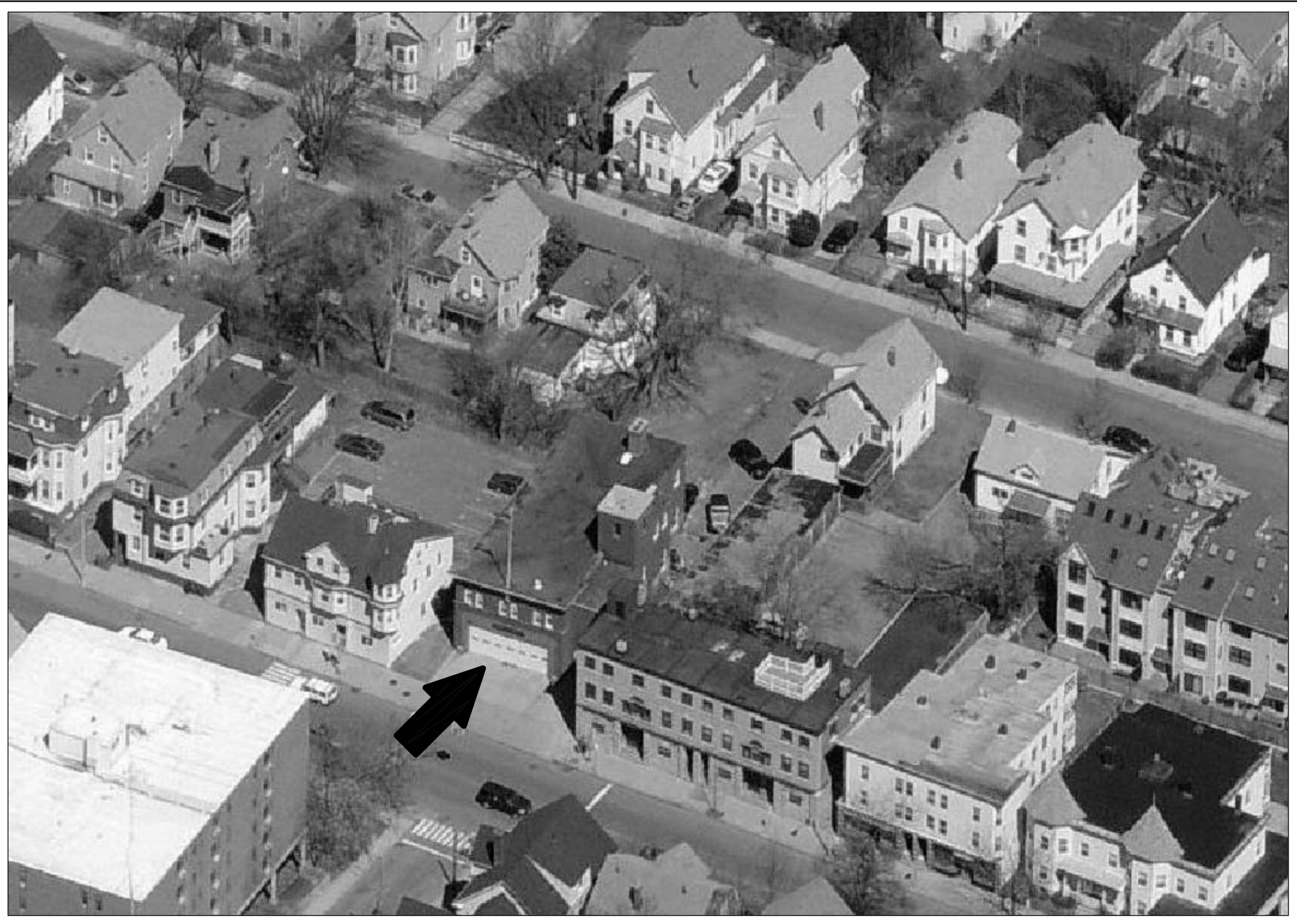
- A2      GENERAL NOTES AND ROOF PLAN
- A3      DETAILS



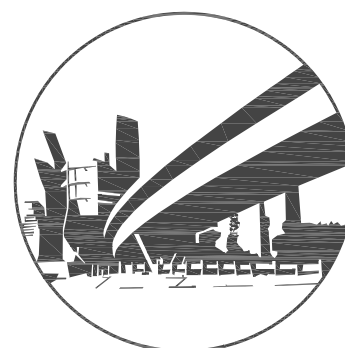
VICINITY MAP



LOCUS MAP



PROJECT PHOTO



**CDR MAGUIRE**

Architects / Engineers / Planners  
211 Congress Street, 11th Floor  
Boston, Massachusetts 02110





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PHOTO - 1



PHOTO - 2



PHOTO - 3



PHOTO - 4



PHOTO - 5

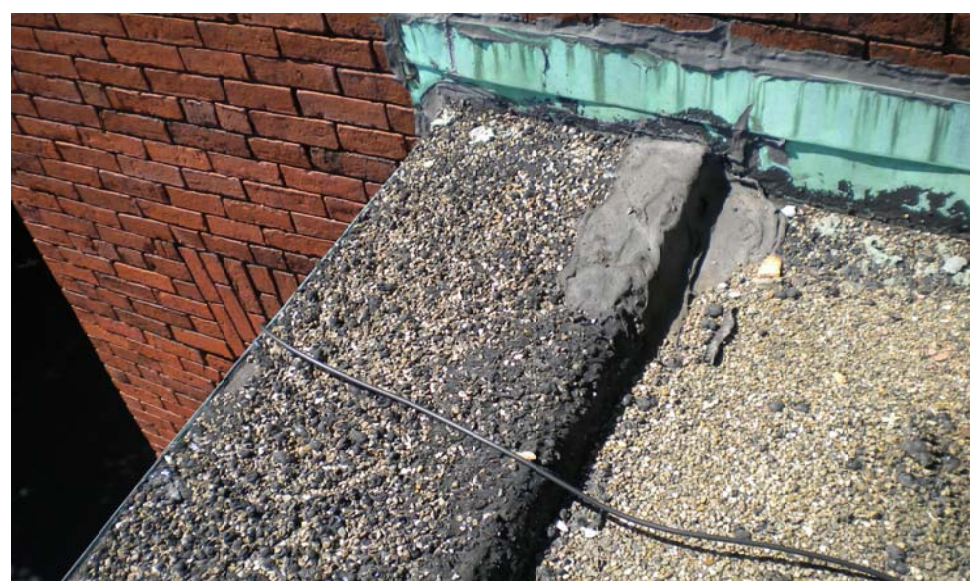


PHOTO - 6

### DEMOLITION KEYED NOTES

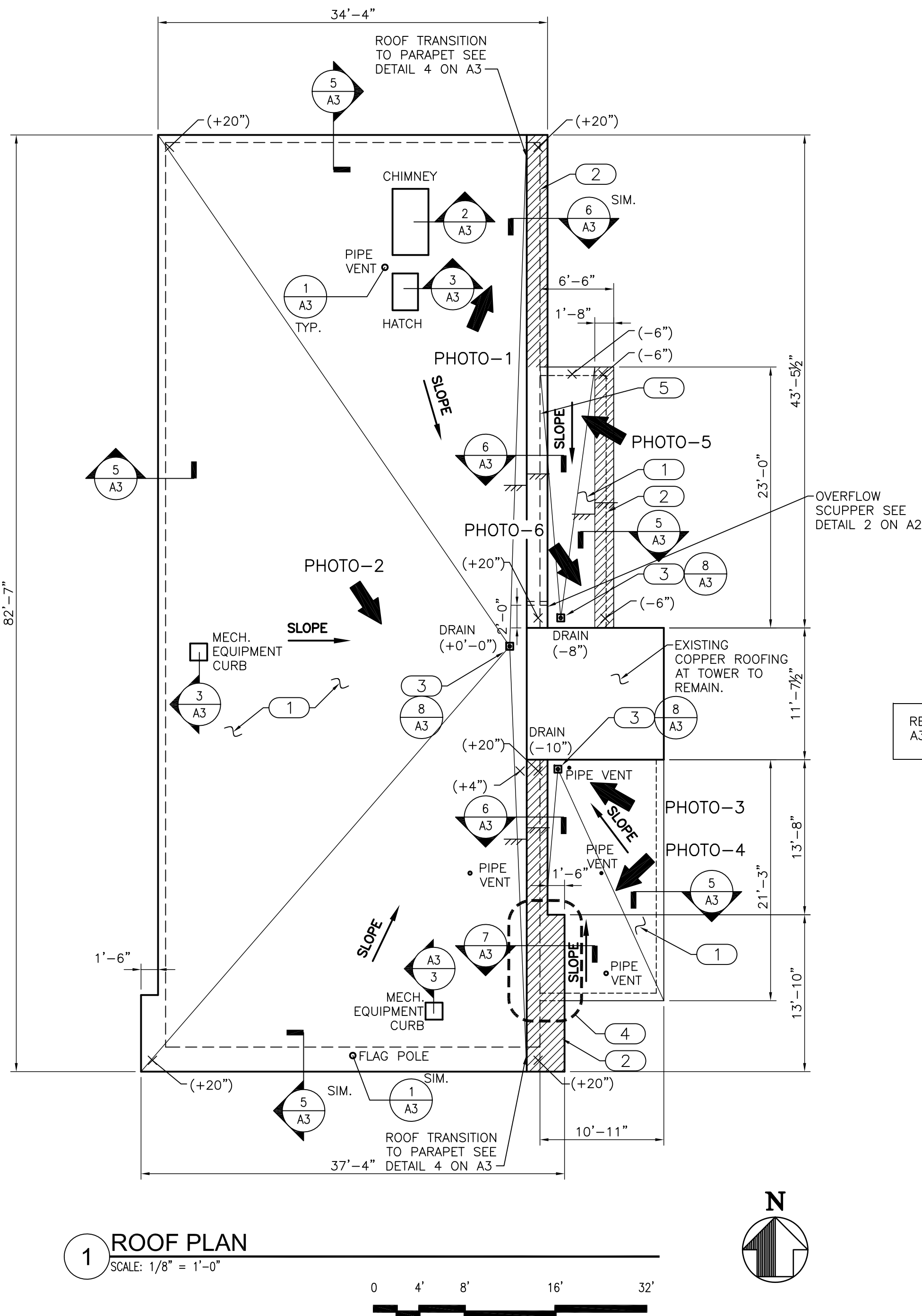
- 1 REMOVE EXISTING ROOFING SYSTEM, FLASHINGS, FASCIAS & RELATED ATTACHMENTS DOWN TO WOOD DECKING. EXISTING ROOFING SYSTEM CONSISTS OF TAR AND GRAVEL OVER WOOD DECKING.
- 2 REMOVE EXISTING ROOFING AND COPPER FLASHING OVER PARAPET.
- 3 REMOVE ROOF DRAIN BASKET AND STRAINER. DRAIN BODY TO REMAIN.
- 4 REMOVE PORTION OF EXISTING CORNICE - REBUILD TO MATCH EXISTING INCLUDING 3 SUPPORTS. (APPROXIMATELY EIGHT LINEAR FEET)
- 5 REMOVE EXISTING COPPER FLASHING WRAPPED AROUND THE PARAPET.

### DEMOLITION GENERAL NOTES

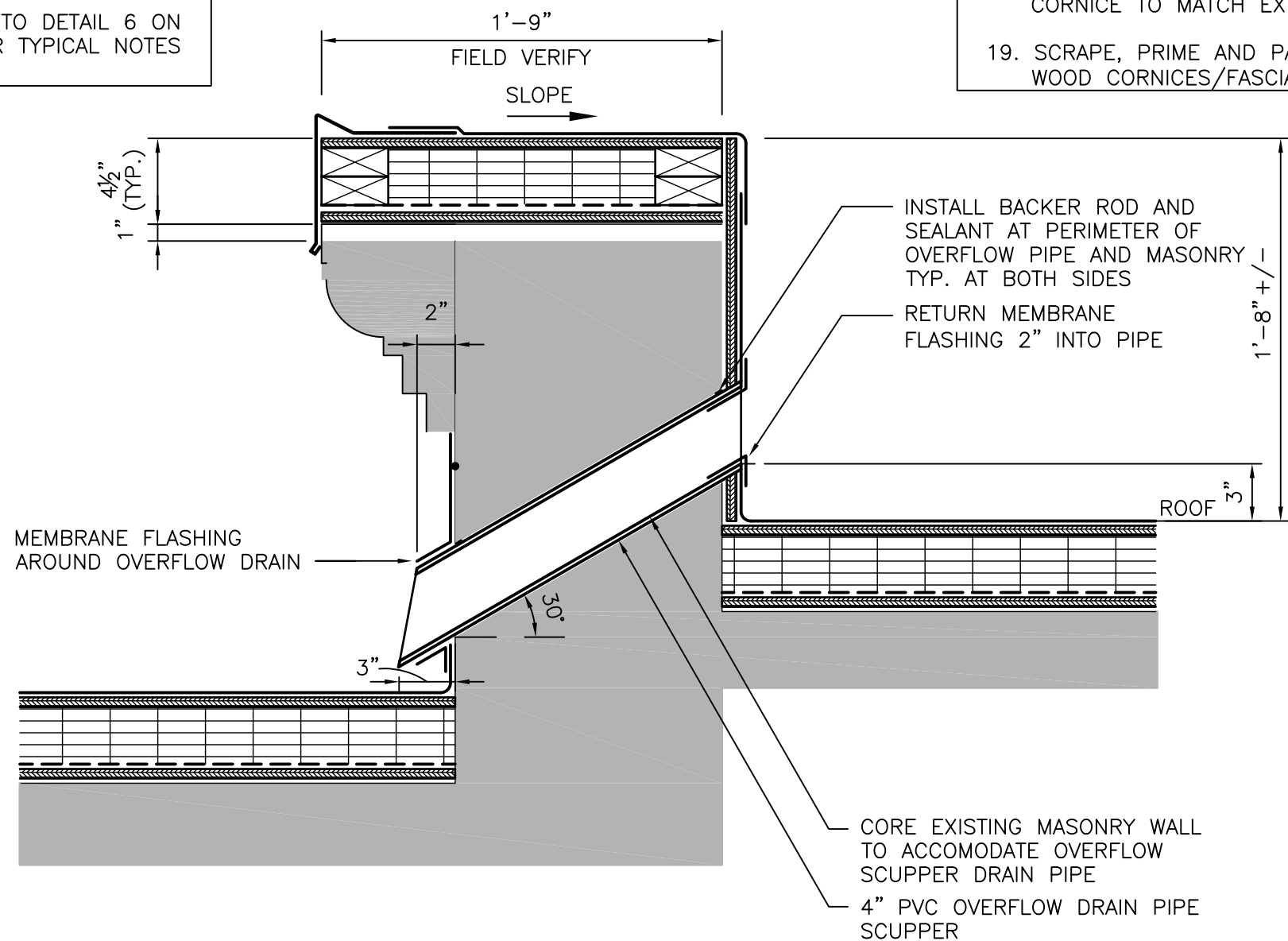
1. THE CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY EXAMINE ALL AREAS OF THE WORK FOR EXISTING CONDITIONS WHICH MAY AFFECT PROPER EXECUTION OF THE WORK. ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND QUANTITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR. NO CLAIMS FOR ADDITIONAL COSTS WILL BE PERMITTED DUE TO LACK OF KNOWLEDGE OF UNCONCEALED EXISTING CONDITIONS BY THE CONTRACTOR.
2. THE DRAWINGS DO NOT SHOW EVERY DETAIL OR CONDITION. CONTRACTOR SHALL PROVIDE ALL DEMOLITION WORK REQUIRED TO MEET THE DESIGN BASED ON ALL INFORMATION PROVIDED AND INFORMATION OBTAINED DURING SITE WALK-THRU. DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE OWNER AND ARCHITECT IMMEDIATELY UPON DISCOVERY.
3. ALL INDICATED EXISTING DIMENSIONS ARE PLUS OR MINUS (+/-) AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO DEMOLITION OPERATIONS.
4. "REMOVE AND SALVAGE" MEANS THAT THE CONTRACTOR SHALL CAREFULLY DETACH ITEMS FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, AND DELIVER TO OWNER.
5. "REMOVE AND RESET" MEANS THAT CONTRACTOR SHALL DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE FOR REUSE, AND REINSTALL WHERE INDICATED.
6. "EXISTING TO REMAIN" DEFINES EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE PERMANENTLY REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.
7. CONTRACTOR SHALL PROTECT ALL ADJACENT CONSTRUCTION THAT IS TO REMAIN, AND SHALL REPAIR AND PATCH ANY EXISTING CONSTRUCTION THAT IS DAMAGED DURING DEMOLITION OPERATIONS. REPAIRS SHALL MATCH EXISTING UNLESS AS OTHERWISE NOTED.
8. ANY MATERIALS OR ITEMS DAMAGED OR DISTURBED BY THE WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR REPLACED TO MATCH EXISTING BY THE CONTRACTOR.
9. REMOVAL OF ANY WORK OR ITEM SHALL INCLUDE THE LEGAL DISPOSAL OF SAME UNLESS INDICATED OTHERWISE. ALL REMOVAL AND DISPOSAL WORK SHALL BE PERFORMED IN A SAFE AND LEGAL MANNER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REINSTALLATION OF ALL ITEMS AS REQUIRED FOR PROPER INSTALLATION OF ROOFING SYSTEM.
11. THE CONTRACTOR SHALL PROVIDE TEMPORARY ROOF PROTECTION AS REQUIRED DURING THE DEMOLITION AND INSTALLATION OF ADJACENT ROOF AREAS.
12. CONTRACTOR SHALL NOTE THAT THE SITE HAS HIGH WIND GUSTS, AND THE FACILITY WILL REMAIN OPERATIONAL AT ALL TIMES. THEREFORE, DEMOLISHED (AND NEW) MATERIALS MUST BE HELD DOWN AND SECURED IN PLACE AT ALL TIMES.
13. CONTRACTOR IS TO WORK AROUND CONDUITS, CABLES AND PIPING LINES LOCATED ON THE ROOF.
14. REFER TO SPECIFICATIONS FOR LIMITS AND ABETMENT OF ASBESTOS CONTAINING ROOFING MATERIALS.

### GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY EXAMINE ALL AREAS OF THE WORK FOR EXISTING CONDITIONS WHICH MAY AFFECT PROPER EXECUTION OF THE WORK. ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND QUANTITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR. NO CLAIMS FOR ADDITIONAL COSTS WILL BE PERMITTED DUE TO LACK OF KNOWLEDGE OF UNCONCEALED EXISTING CONDITIONS BY THE CONTRACTOR.
2. DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE OWNER AND ARCHITECT IMMEDIATELY UPON DISCOVERY.
3. UPON REMOVAL OF THE EXISTING TAR AND GRAVEL ROOF SYSTEM, THE OWNER'S REPRESENTATIVE, ROOF MANUFACTURER'S REPRESENTATIVE AND THE CONTRACTOR SHALL REVIEW THE CONDITION OF THE EXISTING ROOF DECKING FOR DEFECTS OR ANY CONDITION THAT WILL ADVERSELY AFFECT THE QUALITY OF WORK. A DRY, CLEAN AND RELATIVELY SMOOTH SUBSTRATE WILL BE REQUIRED. CONTRACTOR SHALL INSTALL NEW ROOFING SYSTEM OVER ACCEPTED SUBSTRATES ONLY.
4. THE ROOFING SYSTEM SHALL CONSIST OF A LAYER OF 1/2" SUBSTRATE BOARD OVER EXISTING WOOD SHEATHING, 6 MIL POLY VAPOR BARRIER WITH TAPED SEAMS, RIGID INSULATION WITH 1/4" RECOVERY BOARD INSTALLED OVER INSULATION. ALL LAYERS SHALL BE FULLY ADHERED SEQUENTIALLY DOWN TO THE EXISTING STEEL ROOF DECK. A SINGLE PLY PVC ROOF MEMBRANE SHALL BE MECHANICALLY FASTENED TO THE COVER BOARD.
5. THE INSULATION SYSTEM SHALL HAVE AN AVERAGE INSULATING VALUE OF R-27. THE INSULATION THICKNESS, LAYOUT AND SLOPES SHALL STRICTLY CONFORM TO THE APPROVED SHOP DRAWINGS PREPARED BY THE ROOF MANUFACTURER.
6. FASTENER LOCATIONS, LENGTH AND SPACING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S APPROVED SHOP DRAWINGS.
7. INSTALL CONTINUOUS WOOD NAILERS AT ROOF PERIMETER AND PERIMETERS OF ROOF PROJECTIONS AND PENETRATIONS AS REQUIRED OR AS INDICATED ON THE DRAWINGS. HEIGHT OF NAILERS SHALL BE AS REQUIRED TO MATCH INSULATION HEIGHT.
8. FULL PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR WHEN WORKING WITH ADHESIVES AT OR NEAR ROOFTOP VENTS OR AIR INTAKES TO PREVENT FUMES FROM ENTERING THE OCCUPIED BUILDING. SPECIAL CAUTION SHALL BE EXERCISED BY THE CONTRACTOR TO PREVENT ADHESIVE FUMES FROM ENTERING THE HVAC SYSTEMS. KEEP LIDS ON UNUSED CANS AT ALL TIMES. OWNER WILL CHANGE FILTERS AS REQUIRED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REINSTALLATION OF ALL ITEMS AS REQUIRED FOR PROPER INSTALLATION OF THE ROOFING SYSTEM.
10. PROVIDE ROOF CRICKETS (TAPERED INSULATION) UPSLOPE OF ALL HVAC &/OR OTHER ROOF TOP EQUIPMENT CURBS AND OTHER PENETRATIONS TO PREVENT PONDING OF WATER. SLOPE CRICKETS ± 1/2"/FT (TYPICAL)
11. PROVIDE PREFABRICATED ROOF CRICKETS AT ALL PENETRATIONS TO DIVERT WATER AROUND THE PENETRATION. CRICKETS SHALL HAVE A MINIMUM SLOPE OF 1/4" PER FOOT LAYOUT AND SLOPES SHALL STRICTLY CONFORM TO THE APPROVED SHOP DRAWINGS PREPARED BY THE ROOF MANUFACTURER.
12. ALL METAL FLASHING AND DRIP EDGES SHALL BE PVC COATED TO BE COMPATIBLE WITH THE ROOFING SYSTEM.
13. THE CONTRACTOR SHALL PROVIDE TEMPORARY ROOF PROTECTION AS REQUIRED TO PROTECT ADJACENT SURFACES DURING THE RENOVATION.
14. ANY MATERIALS OR ITEMS DAMAGED OR DISTURBED BY THE WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR REPLACED TO MATCH EXISTING BY THE CONTRACTOR.
15. THE DISCONNECTION OF THE EXISTING MECHANICAL UNITS TO REMOVE AND INSTALL THE ROOFING AND ASSOCIATED APPURTENANCES WILL NEED TO BE COORDINATED WITH THE OWNER.
16. CONTRACTOR SHALL REPLACE THE EXISTING ROOF DRAIN STRAINERS..
17. CONTRACTOR SHALL NOTE THAT THE SITE HAS HIGH WIND GUSTS. THEREFORE, NEW AND DEMOLISHED MATERIALS MUST BE HELD DOWN AND SECURED IN PLACE AT ALL TIMES.
18. DEMOLISH AND RECONSTRUCT SOUTH EAST CORNER OF WOOD CORNICE TO MATCH EXISTING APPROXIMATELY 8 LINEAR FEET.
19. SCRAPE, PRIME AND PAINT ALL OF THE EXISTING AND NEW WOOD CORNICES/FASCIA.



REFER TO DETAIL 6 ON A3 FOR TYPICAL NOTES



### OVERFLOW SCUPPER DETAIL

SCALE: 1 1/2" = 1'-0"

#### REVISIONS

Number	Description	Date



### Somerville Fire Dept. Station 7 Roof Replacement

265 Highland Ave.  
Somerville, MA 02143

### GENERAL NOTES AND ROOF PLAN

PROJECT NUMBER: 19431.07

DESIGNED BY: FC

DRAWN BY: KC

CHECKED BY:

DATE: September 11, 2014

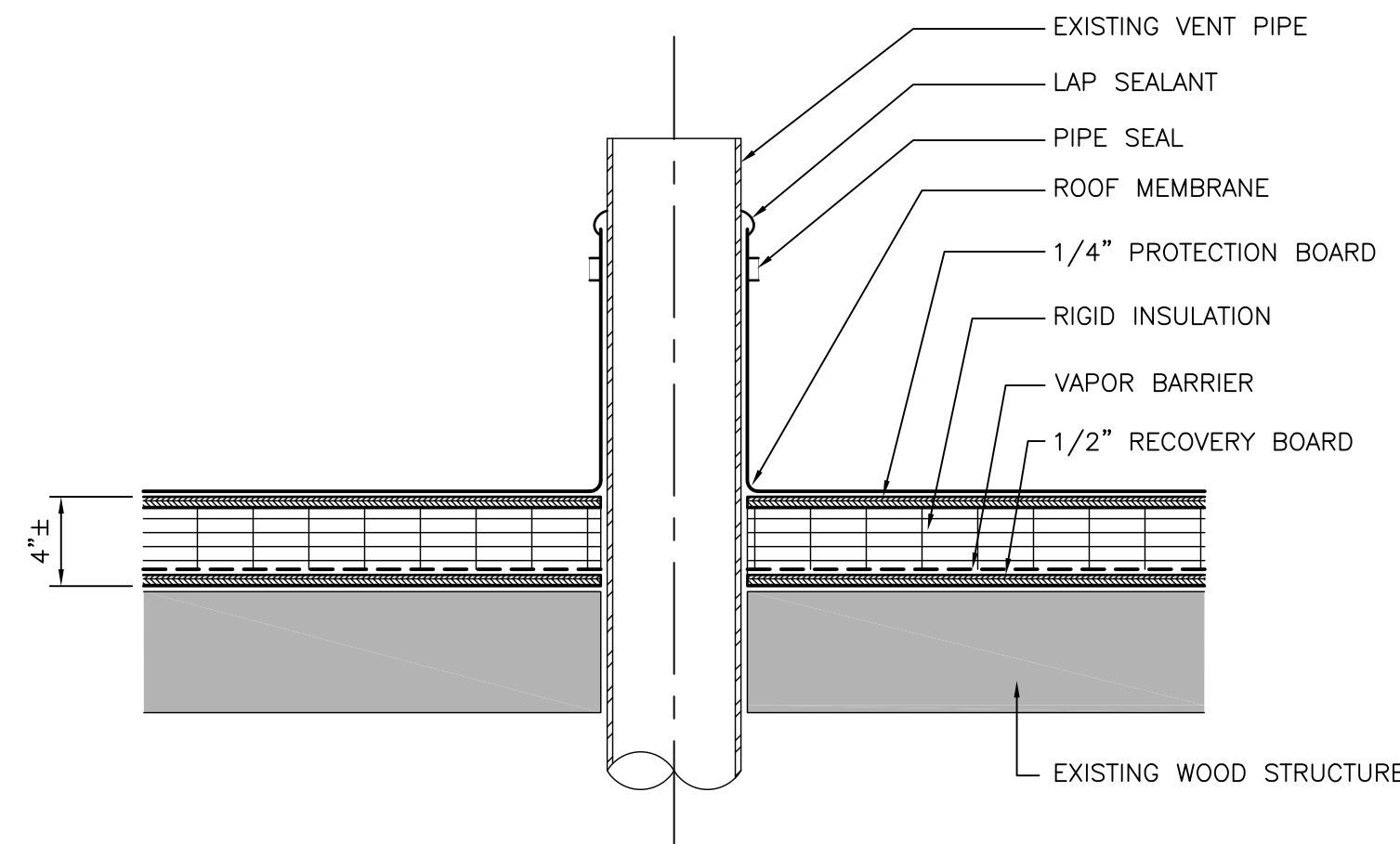
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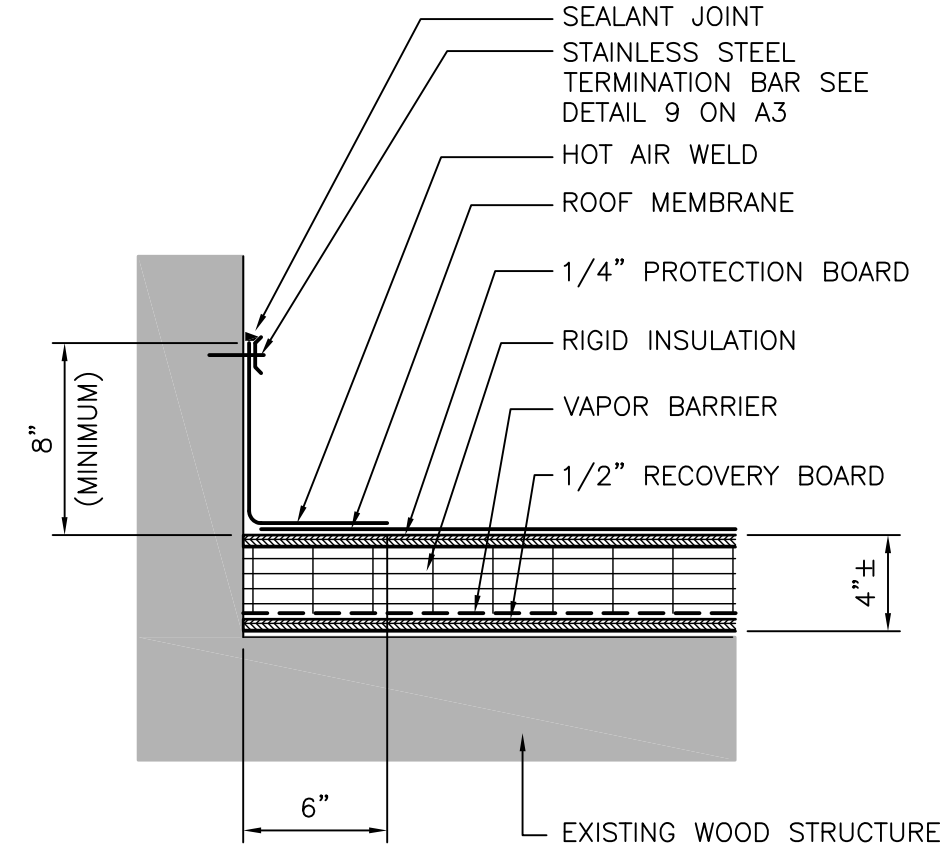
A2



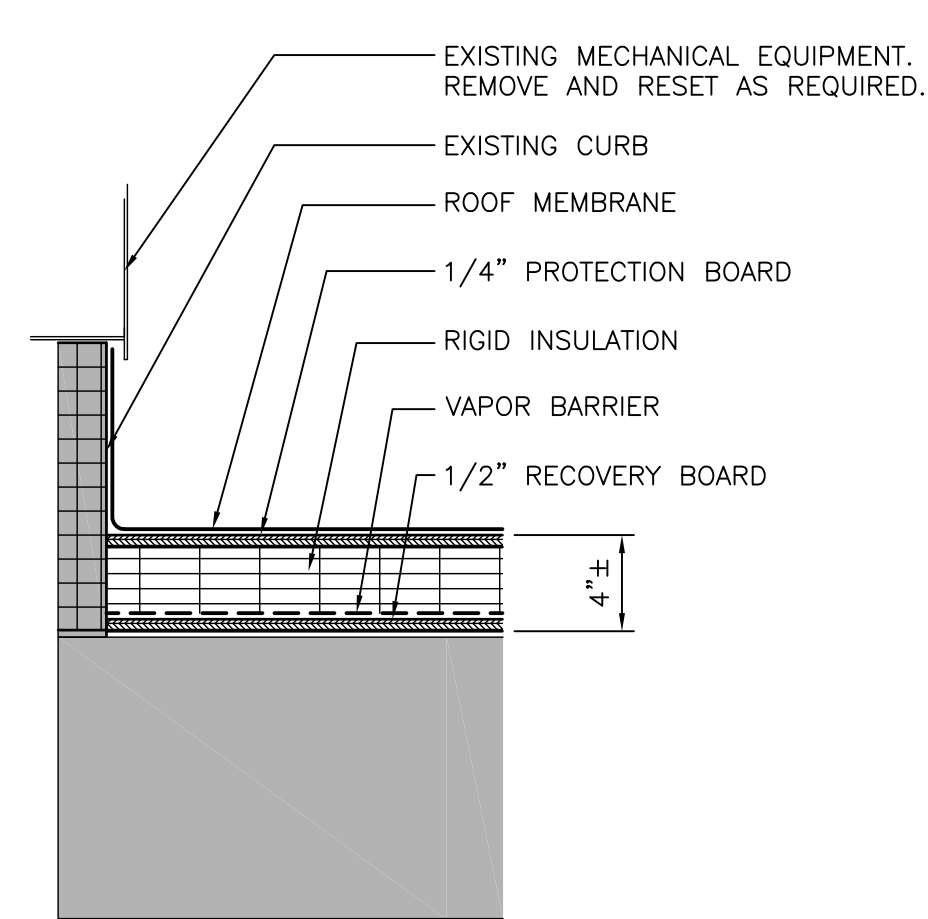
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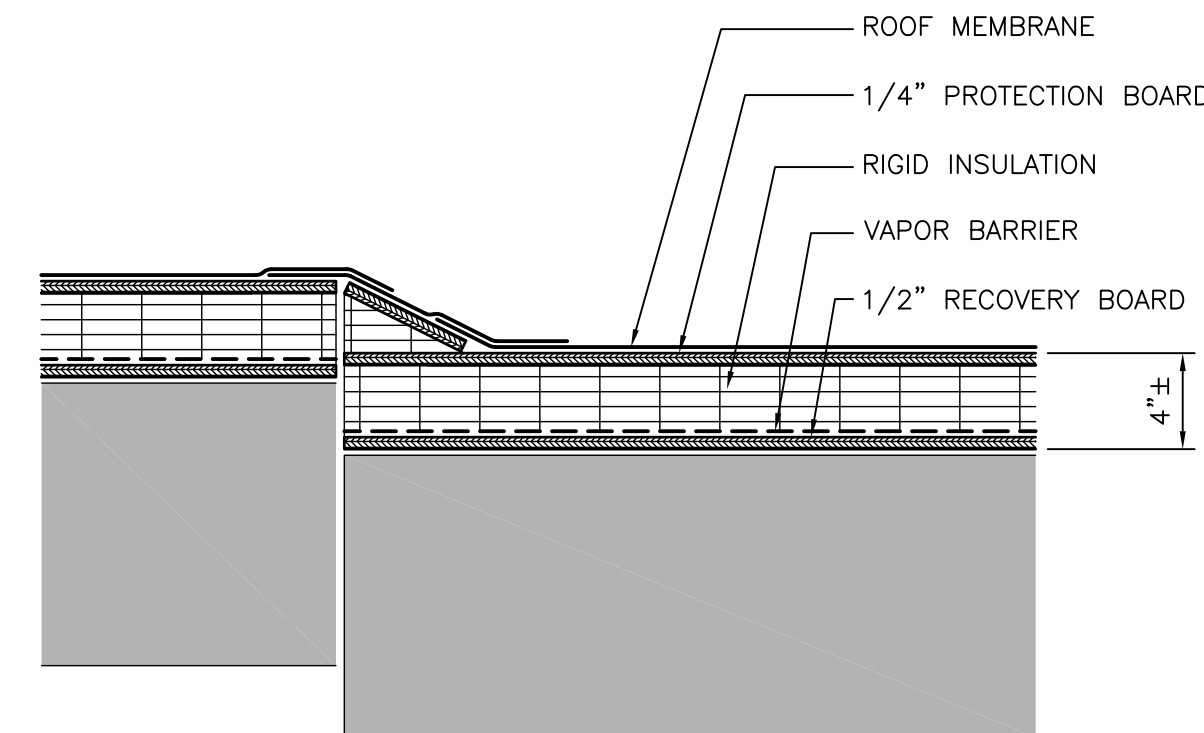
1 VENT DETAIL  
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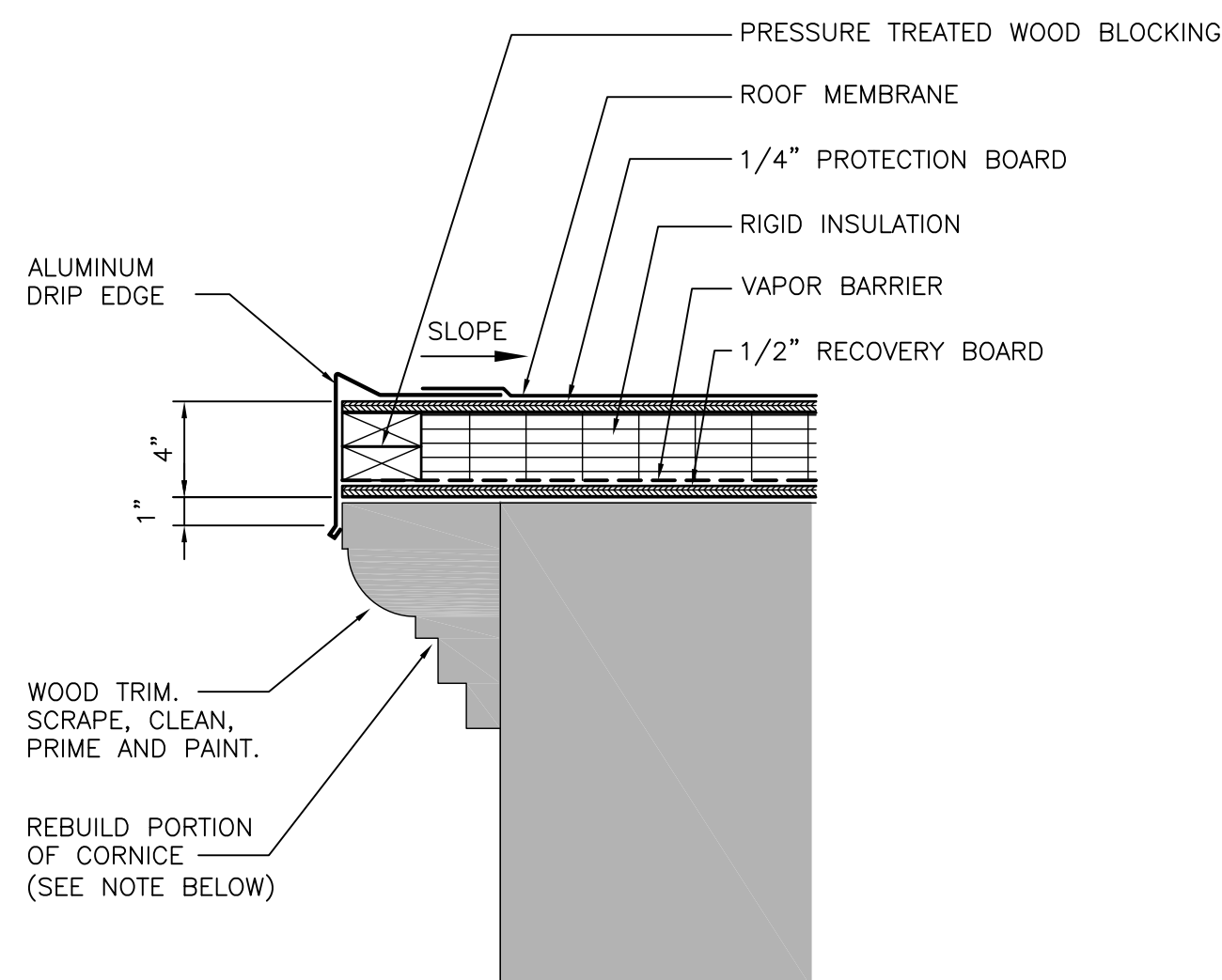
2 VERTICAL WALL FLASHING DETAIL  
SCALE: 1 1/2" = 1'-0"



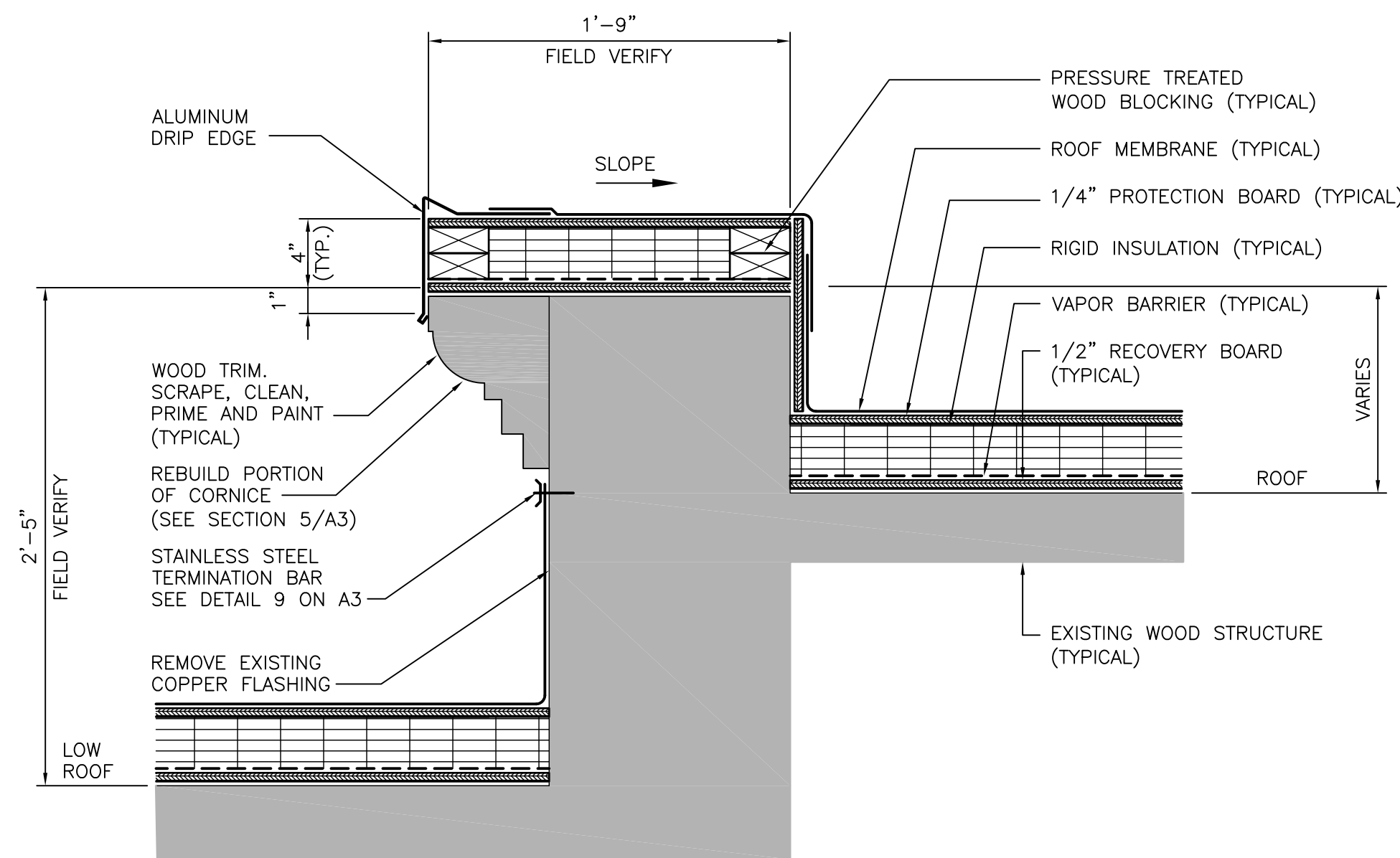
3 MECHANICAL EQUIPMENT DETAIL  
SCALE: 1 1/2" = 1'-0"



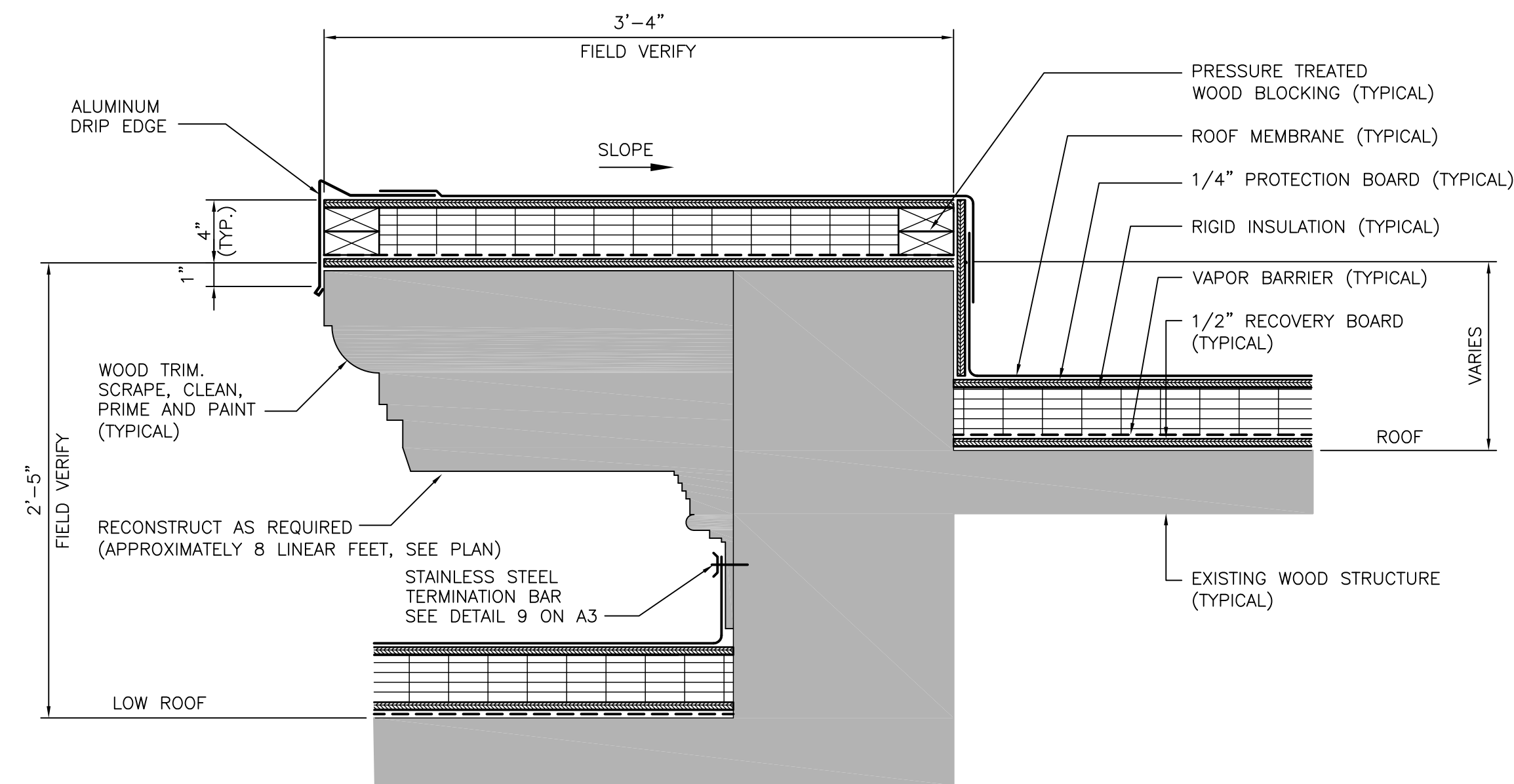
4 CONTINUOUS ROOF ELEVATION CHANGE  
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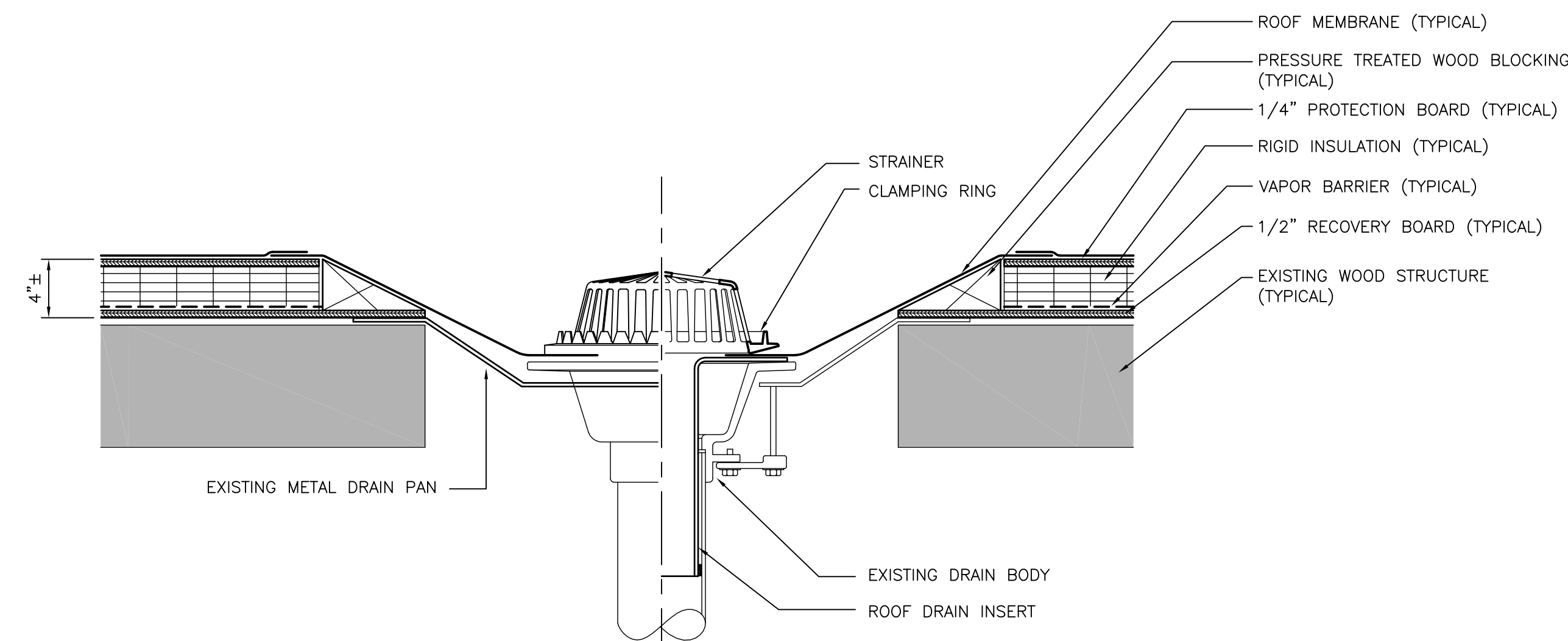
5 ROOF TRANSITION DETAIL  
SCALE: 1 1/2" = 1'-0"



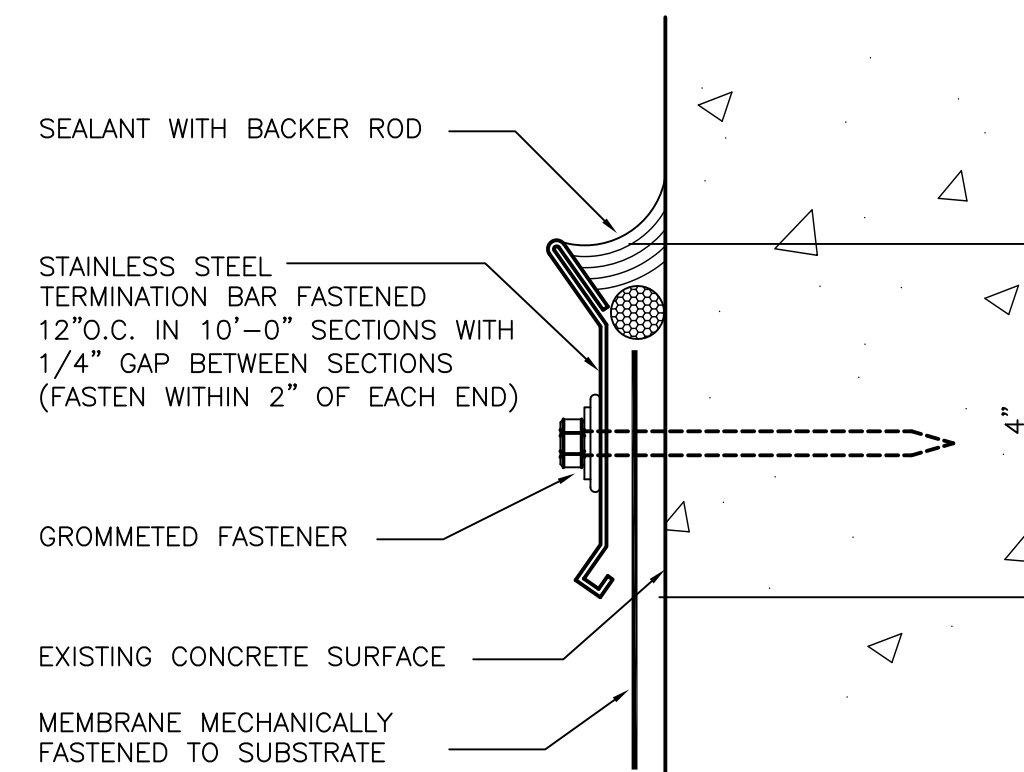
6 ROOF TRANSITION DETAIL  
SCALE: 1 1/2" = 1'-0"



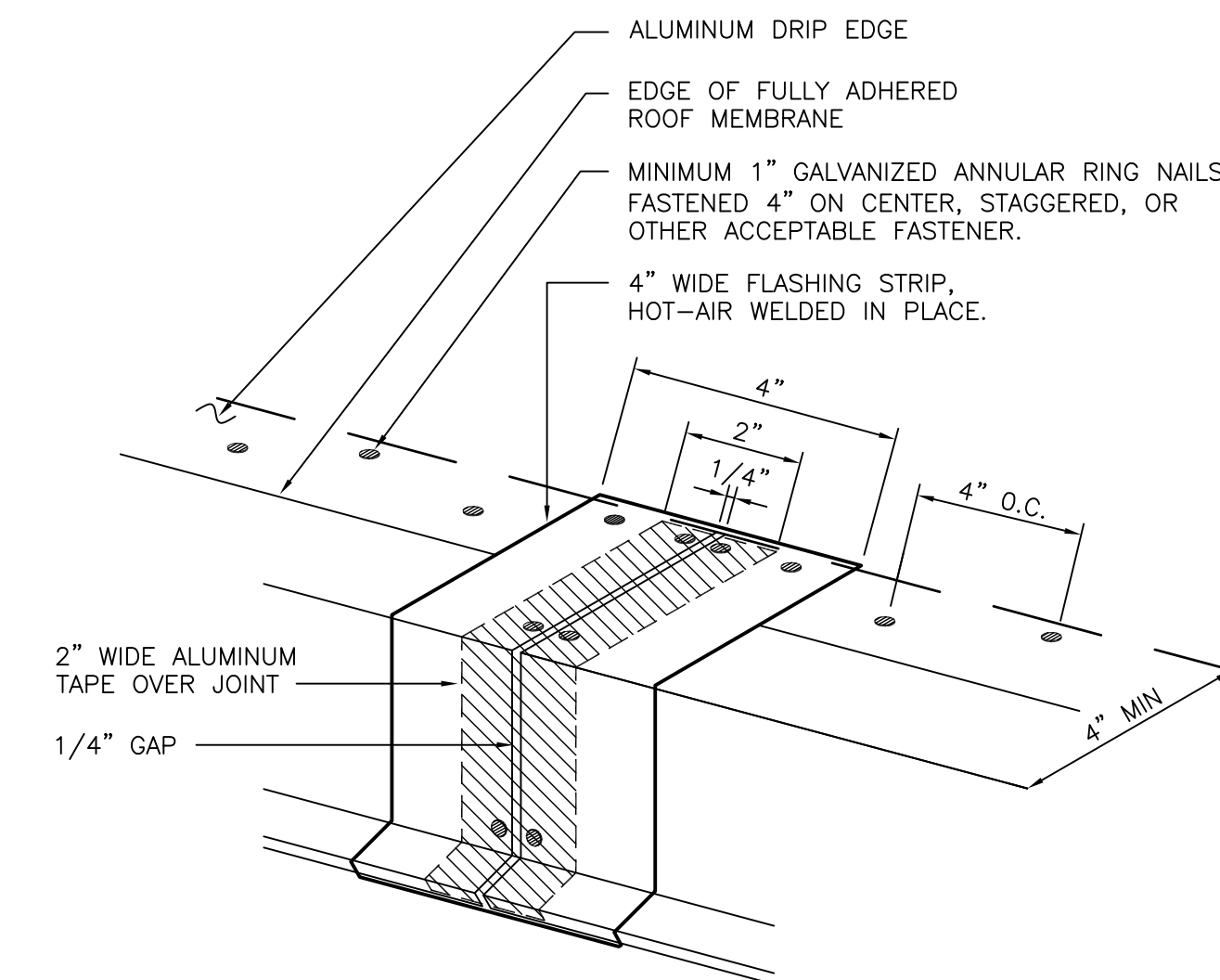
7 ROOF TRANSITION DETAIL  
SCALE: 1 1/2" = 1'-0"



8 ROOF DRAIN PENETRATION  
SCALE: 1 1/2" = 1'-0"



9 DETAIL AT SURFACE MOUNTED REGLETS  
SCALE: 6" = 1'-0"



10 JOINT DETAIL DRIP EDGE SPLICE  
SCALE: 3" = 1'-0"

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